

Attachment D

Approved Plans – D/2020/1072

CITY OF SYDNEY CITY PLANNING DIVISION

DEFERRED Commencement Approval

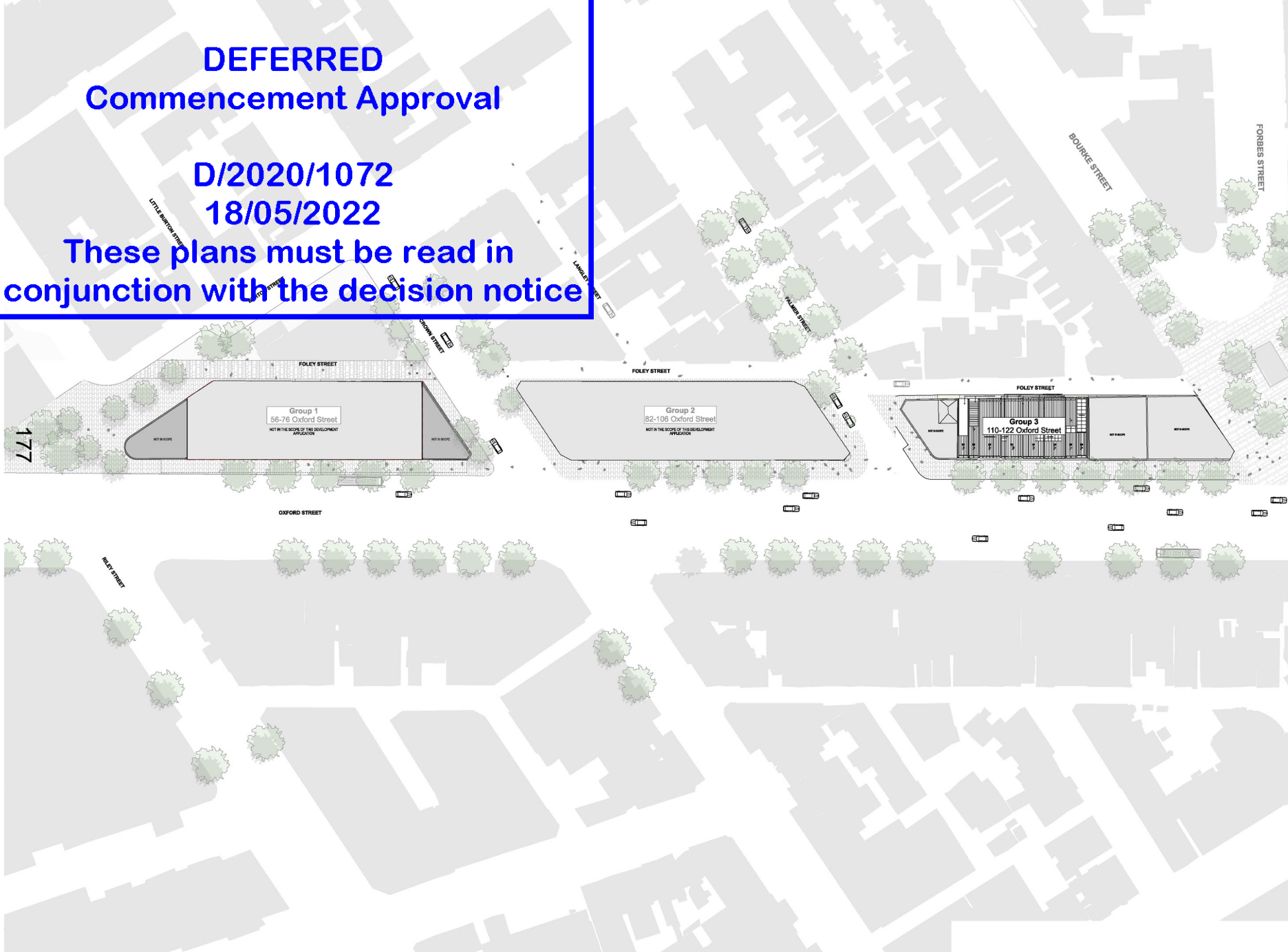
D/2020/1072
18/05/2022

These plans must be read in
conjunction with the decision notice

Refer to various design modification conditions



- GENERAL NOTES**
- ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE CHECKED AND VERIFIED BY THE CONTRACTOR BEFORE PROCEEDING WITH THE WORK.
 - ALL LEVELS RELATIVE TO AUSTRALIAN HEIGHT DATUM.
 - DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY.



DA01	20/05/20	DA Issue	BL
rev	date	name	by

frj studio and partners interior landscape urban community
 6/way industrial park
 Level 5, 70 King Street E • 01 2 9251 7077 • frjstudio.com



project
Darlinghurst Collection
 110-122 Oxford Street
 Darlinghurst NSW 2010

title
General Site Plan

scale	1:200 @ A1	first issued	25/6/20
project code	sheet no.	revision	
TDC	A-12300	DA01	

Refer to various design modification conditions

**CITY OF SYDNEY
CITY PLANNING DIVISION**

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Commencement Approval**

**D/2020/1072
18/05/2022**

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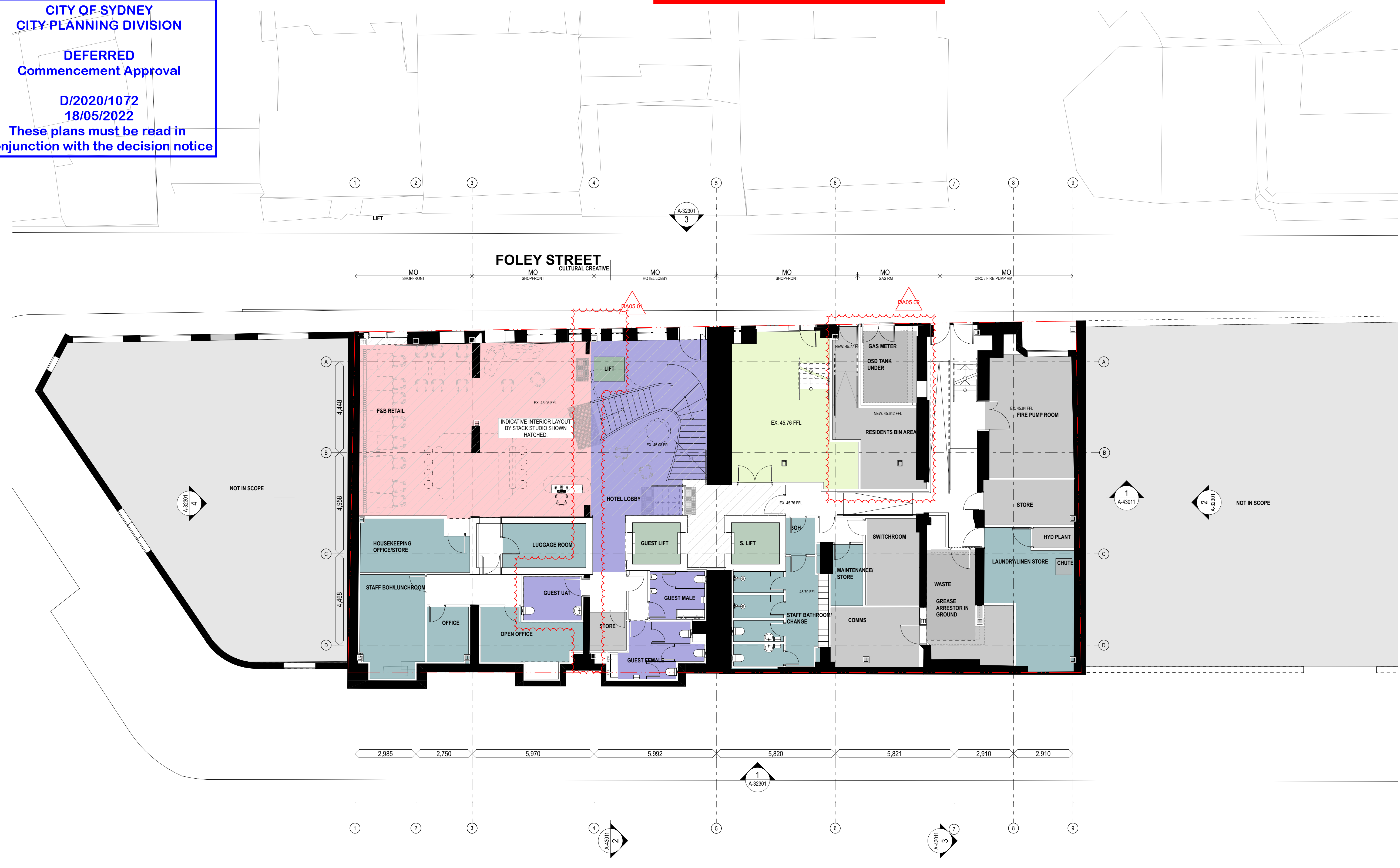
GENERAL NOTES

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- ALL LEVELS RELATIVE TO AUSTRALIAN HEIGHT DATUM.
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Legend

- EXISTING FABRIC
- EXISTING TIMBER FLOOR STRUCTURE
- NEW CONSTRUCTION
- RETAIL SHOPFRONT - EXISTING OPENING
- RETAIL SHOPFRONT - MODIFIED OPENING
- FIRE HYDRANT
- ROBE

NOTE: STRUCTURAL GRID DIMENSIONS ARE INDICATIVE ONLY AND RELATED TO EXISTING STRUCTURAL ELEMENTS, AND THEREFORE SUBJECT TO CHANGE BASED ON SITE MEASURE.



178

OXFORD STREET

1 PLAN Lower Ground
1:100

DA05_21/10/21 DA Issue	DA05_02	Draft condition 13 bin room relocated	SL
	DA05_01	Draft cond. 23 - masonry well retained	SL
DA04_20/02/21 For Information			SL
DA03_18/05/21 DA Issue			AWY
DA02_20/11/20 DA RFI			SL
DA01_30/09/20 DA Issue			SL
rev. date	name		by

fjmt studio architecture interiors landscape urban community
sydney melbourne uk
Level 5, 70 King Street t +61 2 9251 7077 w fjmtstudio.com



project
Darlinghurst Collection
110-122 Oxford Street
Darlinghurst NSW 2010

title
Group 3 - Proposed Plan
Group 3 - Proposed Plan - Lower Ground

scale	1:200 @ A1	first issued	23/11/20
project code	sheet no.	revision	
TDC	A-23001	DA05	

Refer to various design modification conditions

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CITY PLANNING DIVISION**

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18/05/2022**

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GENERAL NOTES

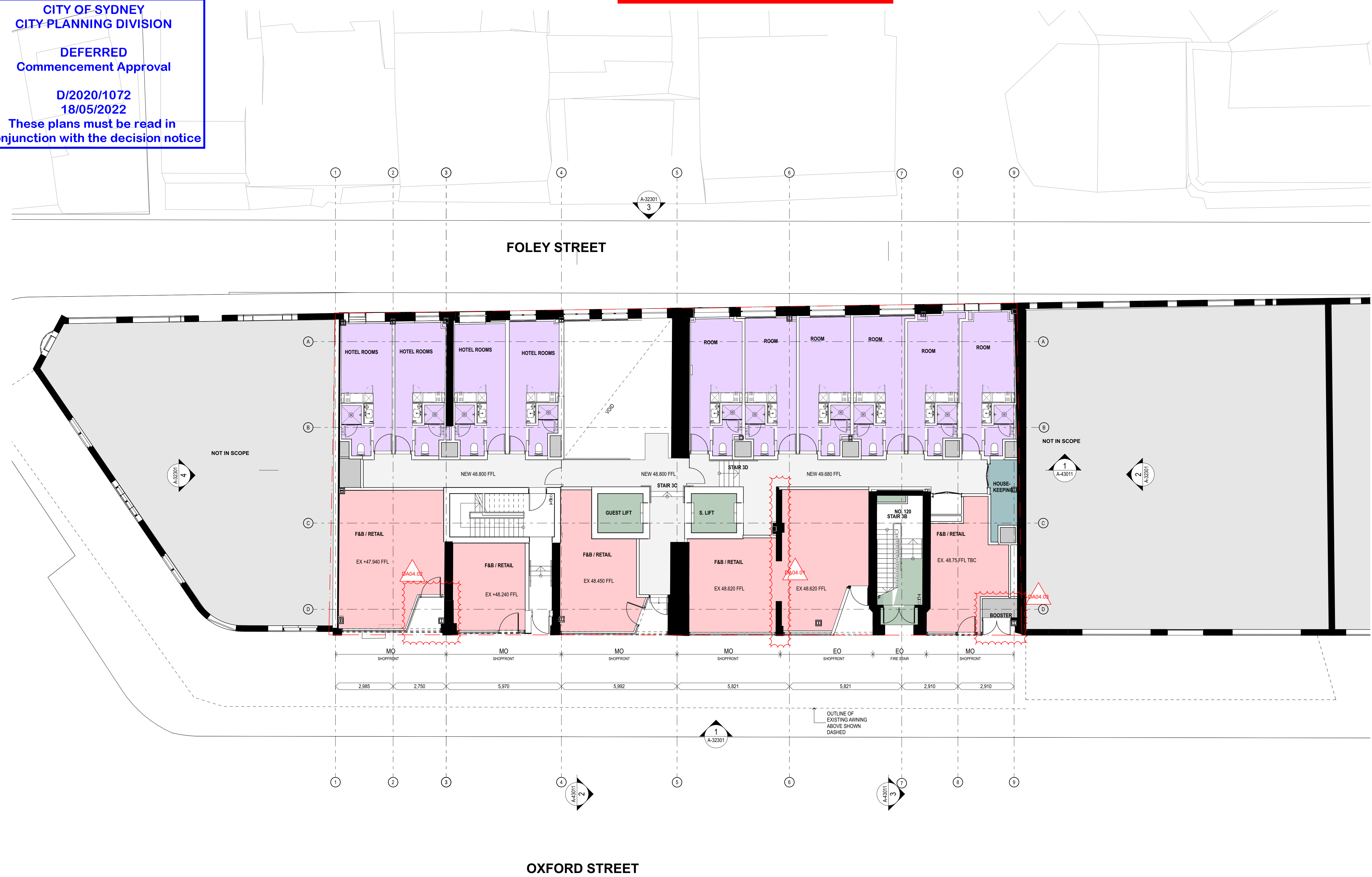
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- ALL LEVELS RELATIVE TO AUSTRALIAN HEIGHT DATUM.
- DO NOT SCALE DRAWINGS.
- USE FIGURED DIMENSIONS ONLY.

Legend

- EXISTING FABRIC
- NEW CONSTRUCTION
- EO RETAIL SHOPFRONT - EXISTING OPENING
- MO RETAIL SHOPFRONT - MODIFIED OPENING
- F FIRE HYDRANT
- R ROBE

NOTE: STRUCTURAL GRID DIMENSIONS ARE INDICATIVE ONLY AND RELATED TO EXISTING STRUCTURAL ELEMENTS, AND THEREFORE SUBJECT TO CHANGE BASED ON SITE MEASURE.

GENERAL QUERIES:
REVIEW OF PROPOSED DEMOLITION OF STRUCTURAL ELEMENTS
ACCESSIBILITY REVIEW OF ROOMS



179

1 PLAN Ground Floor
1:100

DA04	21/10/21	DA Issue	DA04.03	Draft cond. 44 - recessed booster doors	SL
			DA04.02	Draft cond. 20 - recessed entry	SL
			DA04.01	Draft cond. 23 - masonry wall retained	AWV
DA03	2/9/21	For Information			SL
DA02	18/6/21	DA Issue			AWV
rev	date	name			by

first studio architecture interiors landscape urban community
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Level 5, 70 King Street t +61 2 9251 7077 w firststudio.com



project
Darlinghurst Collection
110-122 Oxford Street
Darlinghurst NSW 2010

title
Group 3 - Proposed Plan
Group 3 - Proposed Plan - Ground Floor

scale	1:100 @ A1	first issued	18/6/21
project code	sheet no.	revision	
TDC	A-23002	DA04	

Refer to various design modification conditions

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CITY PLANNING DIVISION**

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18/05/2022**

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Legend

- EXISTING FABRIC
- NEW CONSTRUCTION
- EO RETAIL SHOPFRONT - EXISTING OPENING
- MO RETAIL SHOPFRONT - MODIFIED OPENING
- F FIRE HYDRANT
- R ROBE

NOTE: STRUCTURAL GRID DIMENSIONS ARE INDICATIVE ONLY AND RELATED TO EXISTING STRUCTURAL ELEMENTS, AND THEREFORE SUBJECT TO CHANGE BASED ON SITE MEASURE.

180



1 PLAN G3 Level 1
1:100

DA01	30/9/20	DA Issue	SL
rev	date	name	by

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sydney melbourne us
Level 5, 70 King Street • +61 2 9251 7077 • fyntstudio.com



project
Darlinghurst Collection
110-122 Oxford Street
Darlinghurst NSW 2010

title
General Arrangement Plan Group 3 - Proposed Level 1

scale	1:100 @ A1	first issued	25/9/20
project code	sheet no.	revision	
TDC	A-23003	DA01	

Refer to various design modification conditions

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CITY PLANNING DIVISION**

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Legend

- EXISTING FABRIC
- NEW CONSTRUCTION
- EO RETAIL SHOPFRONT - EXISTING OPENING
- MO RETAIL SHOPFRONT - MODIFIED OPENING
- F FIRE HYDRANT
- R ROBE

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181

1 PLAN G3 Level 2
1:100

DA01	30/9/20	DA Issue	SL
rev	date	name	by

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project
Darlinghurst Collection
110-122 Oxford Street
Darlinghurst NSW 2010

title
**General Arrangement Plan Group 3 -
Proposed
Level 2**

scale 1:100 @ A1 first issued 25/9/20

project code sheet no. revision
TDC A-23004 DA01

Refer to various design modification conditions

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Legend

- EXISTING FABRIC
- NEW CONSTRUCTION
- EO RETAIL SHOPFRONT - EXISTING OPENING
- MO RETAIL SHOPFRONT - MODIFIED OPENING
- F FIRE HYDRANT
- R ROBE

NOTE: STRUCTURAL GRID DIMENSIONS ARE INDICATIVE ONLY AND RELATED TO EXISTING STRUCTURAL ELEMENTS, AND THEREFORE SUBJECT TO CHANGE BASED ON SITE MEASURE.



182

1 PLAN G3 Level 3
1:100

DA01	30/9/20	DA Issue	SL
rev	date	name	by

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sydney melbourne us
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project
Darlinghurst Collection
110-122 Oxford Street
Darlinghurst NSW 2010

title
General Arrangement Plan Group 3 - Proposed Level 3

scale 1:100 @ A1 first issued 25/9/20

project code sheet no. revision
TDC A-23005 DA01

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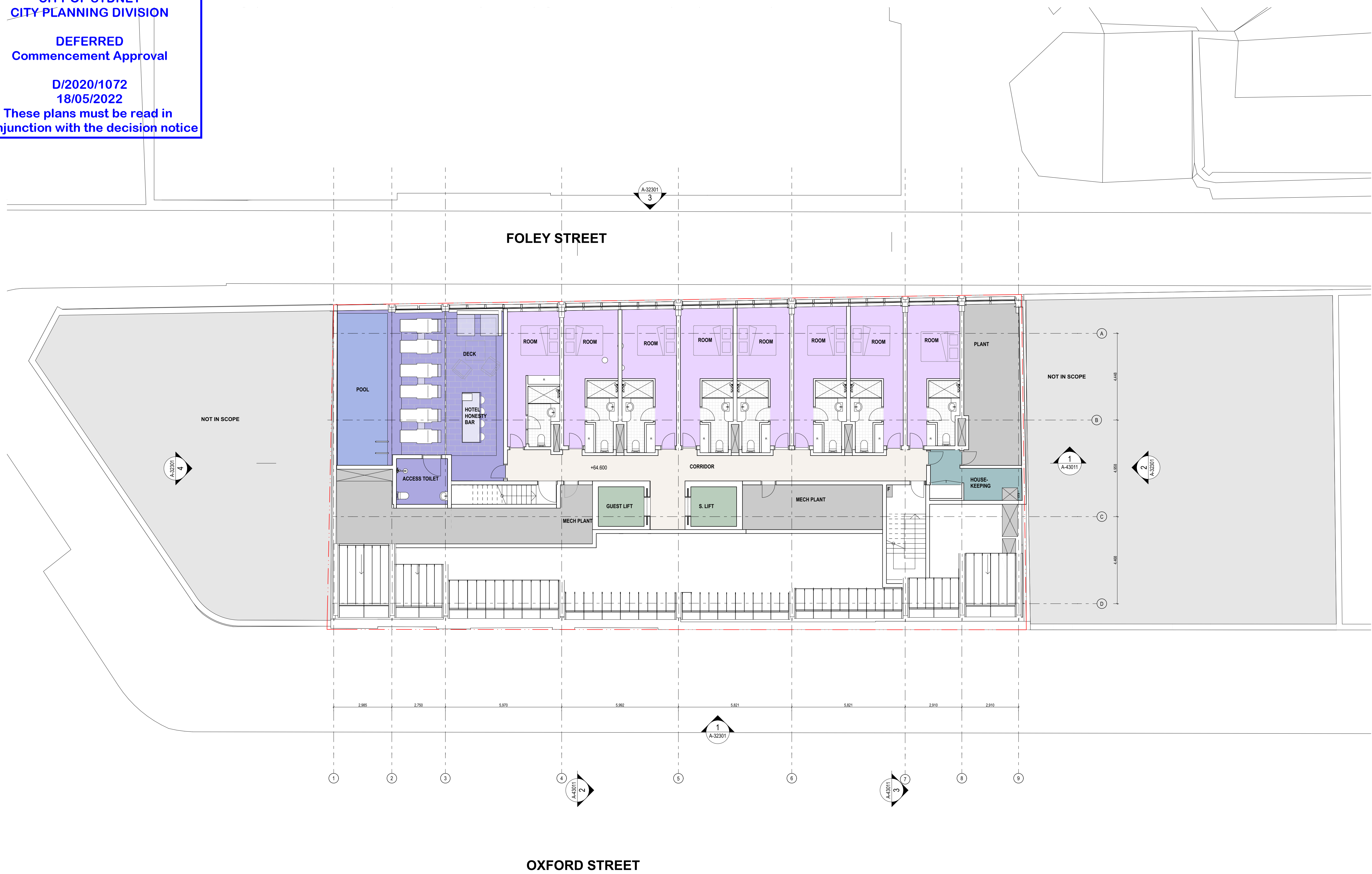
GENERAL NOTES

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- DO NOT SCALE DRAWINGS.
- USE FIGURED DIMENSIONS ONLY.

Legend

- EXISTING FABRIC
- NEW CONSTRUCTION
- EO RETAIL SHOPFRONT - EXISTING OPENING
- MO RETAIL SHOPFRONT - MODIFIED OPENING
- F FIRE HYDRANT
- R ROBE

NOTE: STRUCTURAL GRID DIMENSIONS ARE INDICATIVE ONLY AND RELATED TO EXISTING STRUCTURAL ELEMENTS, AND THEREFORE SUBJECT TO CHANGE BASED ON SITE MEASURE.



183

1 PLAN Level 4
1:100

DA01	30/9/20	DA Issue	SL
rev	date	name	by

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sydney melbourne us
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project
Darlinghurst Collection
110-122 Oxford Street
Darlinghurst NSW 2010

title
General Arrangement Plan Group 3 - Proposed Level 4

scale 1:100 @ A1 first issued 25/9/20

project code sheet no. revision
TDC A-23006 DA01

Refer to various design modification conditions

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GENERAL NOTES

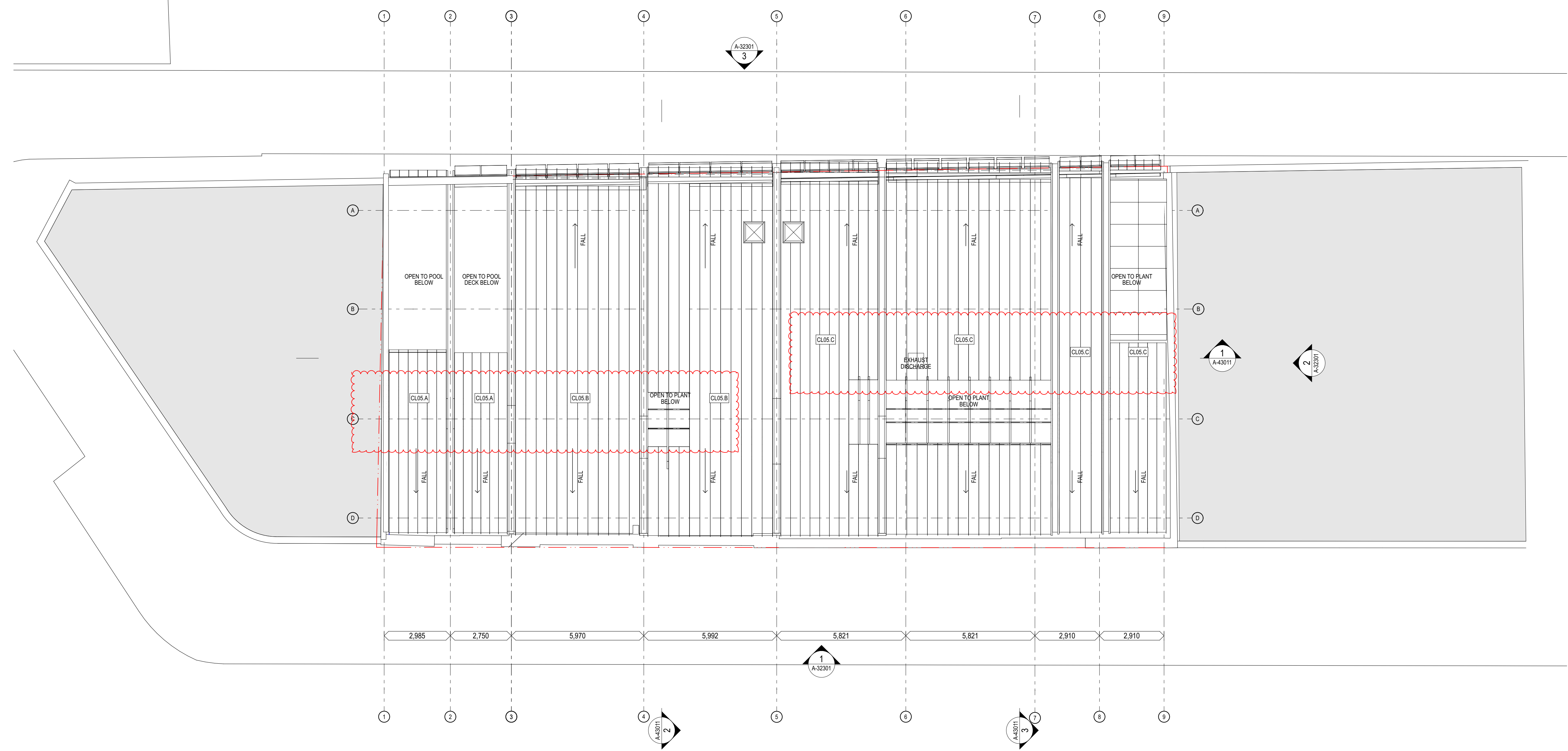
- ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE CHECKED AND VERIFIED BY THE CONTRACTOR BEFORE PROCEEDING WITH THE WORK.
- ALL LEVELS RELATIVE TO AUSTRALIAN HEIGHT DATUM.
- DO NOT SCALE DRAWINGS.
- USE FIGURED DIMENSIONS ONLY.

Legend

- EXISTING FABRIC
- NEW CONSTRUCTION
- EO RETAIL SHOPFRONT - EXISTING OPENING
- MO RETAIL SHOPFRONT - MODIFIED OPENING
- F FIRE HYDRANT
- R ROBE

NOTE: REFER TO LEGEND ON ELEVATIONS FOR FINISHES CODES

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NOTE: STRUCTURAL GRID DIMENSIONS ARE INDICATIVE ONLY AND RELATED TO EXISTING STRUCTURAL ELEMENTS, AND THEREFORE SUBJECT TO CHANGE BASED ON SITE MEASURE.

1 PLAN Roof
1:100

DA05	17/11/21	DA Issue	SL
DA04	16/9/21	S455 MGD	SL
DA03	11/8/21	Draft for Coordination	SL
DA02	22/7/21	Draft for coordination	SL
rev	date	name	by

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Level 5, 70 King Street • +61 2 9251 7077 • fjmtstudio.com

project
Darlinghurst Collection
110-122 Oxford Street
Darlinghurst NSW 2010

title
Group 3 - Proposed Plan
Group 3 - Proposed Plan - Roof

scale 1:100 @ A1 final issued 22/7/21
project code sheet no. revision
TDC A-23007 DA05

Refer to various design modification conditions

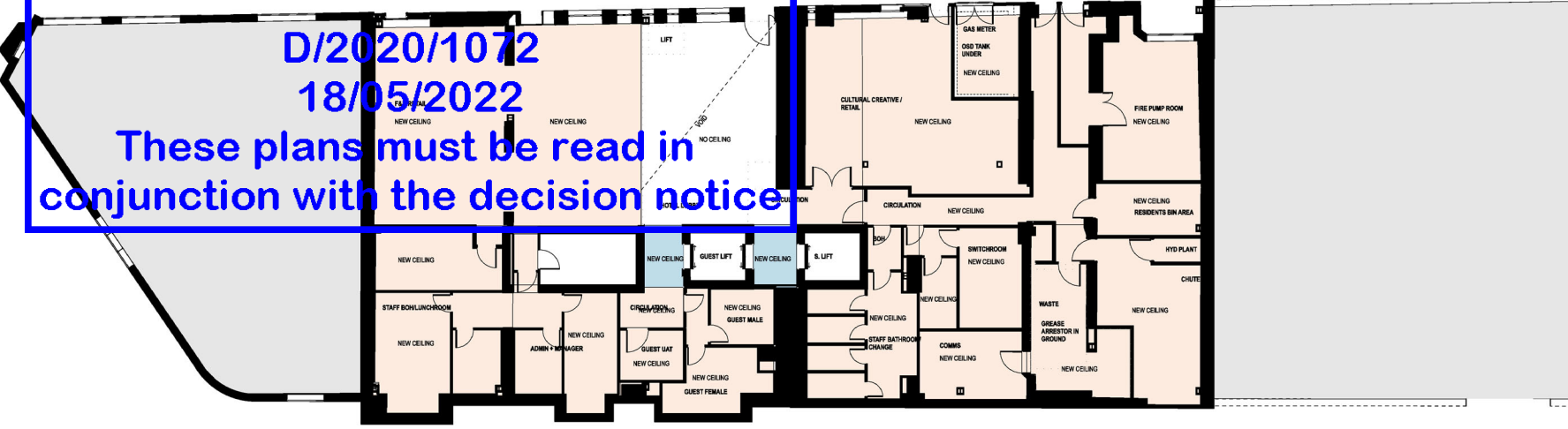
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GENERAL NOTES

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- ALL LEVELS RELATIVE TO AUSTRALIAN HEIGHT DATUM.
- DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY.

Legend

- EXISTING:** HONEYCOMB LATTICE CELING PATTERN IS INDICATIVE ONLY, NOT REPRESENTATIVE OF QUALITY APPEARANCE. CEILING TO BE MAINTAINED IN EXISTENT AND PROTECTED DURING WORKS. CEILING TO BE RESTORED AND REFINISHED TO REFERENCE ARCHITECT'S SPECIFICATIONS.
- EXISTING:** PROTECTED METAL CEILING PATTERN IS INDICATIVE ONLY, NOT REPRESENTATIVE OF QUALITY APPEARANCE. CEILING TO BE CAREFULLY REMOVED, SAFELY STORED, AND REFINISHED TO ALLOW FOR FIRE RATED CEILING TO BE REINSTALLED TO REFERENCE ARCHITECT'S SPECIFICATIONS.
- NEW:** NEW SUSPENDED CEILING. INSTALLED TO PROVIDE FIRE SEPARATION TO COMPLY WITH NCC REQUIREMENTS. TYPICALLY SPECIFY FOR YOURSUBJECTIVE.
- NEW:** NEW FIRE RATED CEILING. INSTALLED TO PROVIDE FIRE SEPARATION TO COMPLY WITH NCC REQUIREMENTS. TYPICALLY SPECIFY FOR YOURSUBJECTIVE.
- NEW:** NEW SUSPENDED CEILING WITH FIRE RATED CEILING ABOVE FOR FIRE SEPARATION TO COMPLY WITH NCC REQUIREMENTS.
- NO CEILING EXPOSED STRUCTURE.**

- NOTES**
- EXTENT OF EXISTING CEILING IS INDICATIVE, BASED ON VISIBLE MATERIAL. SITE INSPECTION, STRUCTURE (EXPOSED AND CONCEALED) NOT SHOWN.
 - EXTENT OF RETENTION OF EXISTING ORIGINAL CEILING IS SUBJECT TO CONFIRMATION THROUGH THE DESIGN DEVELOPMENT PHASE OF THE PROJECT AND IS DEPENDENT ON THE FOLLOWING:
 - INVESTIGATION OF EXISTING NON-FIRE RATED ELEMENTS IN THE CEILING CAVITY. RELIABILITY STUDIES TO CONFIRM HOW NEW STRUCTURE IS INSTALLED.
 - CONFIRMATION OF EXTENT OF HAZARDOUS MATERIALS (E. ASBESTOS AND LEAD PAINT) AND METHOD OF REMOVAL.
 - METHOD OF INSTALLATION OF NEW SERVICES INCLUDING DUCTWORK, LIGHTING, DRAINAGE, ELECTRICAL CABLING ETC.
 - DA RCPs PROVIDE INDICATIVE ZONES OF NEW AND EXISTING CEILING, AS WELL AS AREAS OF NO CEILING. CEILING DESIGN IS SUBJECT TO ONSITE COORDINATION OF CEILING SERVICES AND EXPLOITATION OF EXISTING CONDITIONS.
 - EXISTING CEILING SHOWN TO BE RETAINED MAY REQUIRE REMOVAL, INSTALLATION OF FIRE RATED CEILING ABOVE, AND REINSTALLATION OF CEILING IN PLACE, TO COMPLY WITH NCC FIRE SEPARATION REQUIREMENTS.
 - INTERNAL HOTEL AND ENSUITE LAYOUTS ARE INDICATIVE, PENDING DETAILED INTERIOR DESIGN AND SERVICES COORDINATION.

DA01	B/7/21	DA Issue	BL
rev	date	name	by

Refer to various design modification conditions

CITY OF SYDNEY
CITY PLANNING DIVISION

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18/05/2022

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GENERAL NOTES

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- ALL LEVELS RELATIVE TO AUSTRALIAN HEIGHT DATUM.
- DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY.

Legend

- EXISTING:** HOLLOW METAL LATH CEILING (Pattern is indicative only, NOT REPRESENTATIVE OF QUALITY APPEARANCE. CEILING TO BE REINSTALLED IN ACCORDANCE WITH NCC REQUIREMENTS AND REFERRED TO RELEVANT ARCHITECT'S SPECIFICATIONS)
- EXISTING:** PROTECTED METAL CEILING (Pattern is indicative only, NOT REPRESENTATIVE OF QUALITY APPEARANCE. CEILING TO BE CAREFULLY REMOVED, SUPPLY STORED, AND REINSTALLED TO ALLOW FOR FIRE RATED CEILING TO BE INSTALLED ABOVE. CEILING TO BE REINSTALLED AND REFERRED TO RELEVANT ARCHITECT'S SPECIFICATIONS)
- NEW:** FIRE RATED CEILING (INSTALL TO PROVIDE FIRE SEPARATION TO COMPLY WITH NCC REQUIREMENTS. TYPICALLY SPECIFY FOR STRUCTURE)
- NEW:** SUSPENDED CEILING
- NEW:** SUSPENDED CEILING WITH FIRE RATED CEILING ABOVE FOR FIRE SEPARATION TO COMPLY WITH NCC REQUIREMENTS
- NO CEILING EXPOSED STRUCTURE**

- NOTES**
- EXTENT OF EXISTING CEILING IS INDICATIVE, BASED ON VISIBLE MATERIAL. SITE INSPECTION. STRUCTURE (EXPOSED AND CONCEALED) NOT SHOWN.
 - EXTENT OF RETENTION OF EXISTING ORIGINAL CEILING IS SUBJECT TO CONFIRMATION THROUGH THE DESIGN DEVELOPMENT PHASE OF THE PROJECT AND IS DEPENDENT ON THE FOLLOWING:
 - INVESTIGATION OF EXISTING NON-FIRE RATED ELEMENTS IN THE CEILING CAVITY. BUILDABILITY STUDIES TO CONFIRM HOW NEW STRUCTURE IS INSTALLED.
 - CONFIRMATION OF EXTENT OF HAZARDOUS MATERIALS (E. ASBESTOS AND LEAD PAINT) AND METHOD OF REMOVAL.
 - METHOD OF INSTALLATION OF NEW SERVICES INCLUDING DUCTWORK, LIGHTING, DRAINAGE, ELECTRICAL CABLING ETC.
 - DA RCPs PROVIDE INDICATIVE ZONES OF NEW AND EXISTING CEILING, AS WELL AS AREAS OF NO CEILING. CEILING DESIGN IS SUBJECT TO Ongoing COORDINATION OF CEILING SERVICES AND EXPLOITATION OF EXISTING CONDITIONS.
 - EXISTING CEILING SHOWN TO BE RETAINED MAY REQUIRE REMOVAL, INSTALLATION OF FIRE RATED CEILING ABOVE, AND REINSTALLATION OF CEILING IN PLACE, TO COMPLY WITH NCC FIRE SEPARATION REQUIREMENTS.
 - INTERNAL HOTEL AND ENSUITE LAYOUTS ARE INDICATIVE, PENDING DETAILED INTERIOR DESIGN AND SERVICES COORDINATION.

DA issue	DA issue	By
rev	date	name

Project: **Darlinghurst Collection**
110-122 Oxford Street
Darlinghurst NSW 2010

Project: **Darlinghurst Collection**
110-122 Oxford Street
Darlinghurst NSW 2010

Title: **Proposed Reflected Ceiling Plans**
Group 3 - Proposed Plan - Ground Level

scale	1:100 @ A1	first issued	9/7/21
project code	sheet no.	revision	
TDC	A-23052	DA01	

Refer to various design modification conditions

CITY OF SYDNEY
CITY PLANNING DIVISION

DEFERRED
Commencement Approval

D/2020/1072
18/05/2022

These plans must be read in
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GENERAL NOTES

- ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE CHECKED AND VERIFIED BY THE CONTRACTOR BEFORE PROCEEDING WITH THE WORK.
- ALL LEVELS RELATIVE TO AUSTRALIAN HEIGHT DATUM.
- DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY.

Legend

- EXISTING**
 - NOCEILING/LATITE CEILING: Pattern is indicative only, NOT REPRESENTATIVE OF ON-SITE APPEARANCE. CEILING TO BE MAINTAINED IN EXISTENT AND PROTECTED DURING WORKS. CEILING TO BE RESTORED AND REFINISHED TO REVENUE ARCHITECTS SPECIFICATION.
 - PROTECTED METAL CEILING: Pattern is indicative only, NOT REPRESENTATIVE OF ON-SITE APPEARANCE. CEILING TO BE CAREFULLY REMOVED, SUPPLY STORED, AND REFINISHED TO ALLOW FOR FUTURE CEILING TO RE-INSTALLATION TO REVENUE ARCHITECTS SPECIFICATION.
- NEW**
 - NEW WATER CEILING: INSTALL TO PROVIDE FIRE SEPARATION TO COMPLY WITH NCC REQUIREMENTS. TYPICALLY SPECIFY FOR STRUCTURE.
 - NEW SUSPENDED CEILING
 - NEW SUSPENDED CEILING WITH FIRE RATED CEILING ABOVE FOR FIRE SEPARATION TO COMPLY WITH NCC REQUIREMENTS.
 - NO CEILING EXPOSED STRUCTURE

- NOTES**
- EXTENT OF EXISTING CEILING IS INDICATIVE, BASED ON VISIBLE MATERIAL. SITE INSPECTION, STRUCTURE (POSSIBLE AND CONCEALED) NOT SHOWN.
 - EXTENT OF RETENTION OF EXISTING ORIGINAL CEILING IS SUBJECT TO CONFIRMATION THROUGHOUT THE DESIGN DEVELOPMENT PHASE OF THE PROJECT AND IS DEPENDENT ON THE FOLLOWING:
 - INVESTIGATION OF EXISTING NON-FIRE RATED ELEMENTS IN THE CEILING CAVITY. SULLABILITY STUDIES TO CONFIRM HOW NEW STRUCTURE IS INSTALLED.
 - CONFIRMATION OF EXTENT OF HAZARDOUS MATERIALS (IE. ASBESTOS AND LEAD PAINT) AND METHOD OF REMOVAL.
 - METHOD OF INSTALLATION OF NEW SERVICES INCLUDING DUCTWORK, LIGHTING, DRAINAGE, ELECTRICAL CABLING ETC.
 - DA RCPs PROVIDE INDICATIVE ZONES OF NEW AND EXISTING CEILING, AS WELL AS AREAS OF NO CEILING. CEILING DESIGN IS SUBJECT TO ONSITE COORDINATION OF CEILING SERVICES AND EXPLOITATION OF EXISTING CONDITIONS.
 - EXISTING CEILING SHOWN TO BE RETAINED MAY REQUIRE REMOVAL, INSTALLATION OF FIRE RATED CEILING ABOVE, AND REINSTALLATION OF CEILING IN PLACE, TO COMPLY WITH NCC FIRE SEPARATION REQUIREMENTS.
 - INTERNAL HOTEL AND ENSUITE LAYOUTS ARE INDICATIVE, PENDING DETAILED INTERIOR DESIGN AND SERVICES COORDINATION.

1 PLAN Level 1
1:100

DA01	B/7/21	DA Issue	BL
rev	date	name	by

frj studio architecture interiors landscape urban community
gptw architecture
Level 5, 70 King Street E • 01 2 955 7077 • frjstudio.com



project
Darlinghurst Collection
110-122 Oxford Street
Darlinghurst NSW 2010

title
**Proposed Reflected Ceiling Plans
Group 3 - Proposed Plan - Level 1**

scale	1:100 @ A1	sheet no.	B/7/21
project code	TDC	revision	A-23053 DA01

Refer to various design modification conditions

CITY OF SYDNEY CITY PLANNING DIVISION

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D/2020/1072
18/05/2022

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GENERAL NOTES

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- DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY.

Legend

- EXISTING**
HOLLOW METAL CEILING
PATTERN IS INDICATIVE ONLY. NOT REPRESENTATIVE OF QUALITY APPEARANCE. CEILING TO BE REPAIRED IN ACCORDANCE WITH RELEVANT ARCHITECT'S SPECIFICATIONS.
- EXISTING**
PROVIDED METAL CEILING
PATTERN IS INDICATIVE ONLY. NOT REPRESENTATIVE OF QUALITY APPEARANCE. CEILING TO BE CAREFULLY REMOVED, SUPPLY STORED AND REINSTALLED TO ALLOW FOR FUTURE CEILING TO BE REINSTALLED TO RELEVANT ARCHITECT'S SPECIFICATIONS.
- NEW**
FIRE RATED CEILING
INSTALLED TO PROVIDE FIRE SEPARATION TO COMPLY WITH NCC REQUIREMENTS. TYPICALLY SPECIFY FOR STRUCTURE.
- NEW**
SUSPENDED CEILING
- NEW**
SUSPENDED CEILING WITH FIRE RATED CEILING ABOVE FOR FIRE SEPARATION TO COMPLY WITH NCC REQUIREMENTS.
- NO CEILING EXPOSED STRUCTURE**

- NOTES**
- EXTENT OF EXISTING CEILING IS INDICATIVE, BASED ON VISIBLE MATERIAL. SITE INSPECTION, STRUCTURE (EXPOSED AND CONCEALED) NOT SHOWN.
 - EXTENT OF RETENTION OF EXISTING ORIGINAL CEILING IS SUBJECT TO CONFIRMATION THROUGH THE DESIGN DEVELOPMENT PHASE OF THE PROJECT AND IS DEPENDENT ON THE FOLLOWING:
 - INVESTIGATION OF EXISTING NON-FIRE RATED ELEMENTS IN THE CEILING CAVITY. RELIABILITY STUDIES TO CONFIRM HOW NEW STRUCTURE IS INSTALLED.
 - CONFIRMATION OF EXTENT OF HAZARDOUS MATERIALS (E. ASBESTOS AND LEAD PAINT) AND METHOD OF REMOVAL.
 - METHOD OF INSTALLATION OF NEW SERVICES INCLUDING DUCTWORK, LIGHTING, DRAINAGE, ELECTRICAL CABLING ETC.
 - DA RCPs PROVIDE INDICATIVE ZONES OF NEW AND EXISTING CEILING, AS WELL AS AREAS OF NO CEILING. CEILING DESIGN IS SUBJECT TO Ongoing COORDINATION OF CEILING SERVICES AND EXPLOITATION OF EXISTING CONDITIONS.
 - EXISTING CEILING SHOWN TO BE RETAINED MAY REQUIRE REMOVAL, INSTALLATION OF FIRE RATED CEILING ABOVE, AND REINSTALLATION OF CEILING IN PLACE, TO COMPLY WITH NCC FIRE SEPARATION REQUIREMENTS.
 - INTERNAL HOTEL AND ENSUITE LAYOUTS ARE INDICATIVE, PENDING DETAILED INTERIOR DESIGN AND SERVICES COORDINATION.

1 PLAN Level 2
1:100

DA01	B/7/21	DA Issue	BL
rev	date	name	by

frj studio architecture interior landscape urban community
 10/11/2018
 Level 5, 70 King Street # 401 2 0551 7077 w frjstudio.com

frjmt

project:
Darlinghurst Collection
 110-122 Oxford Street
 Darlinghurst NSW 2010

title:
Proposed Reflected Ceiling Plans
Group 3 - Proposed Plan - Level 2

scale: 1:100 @ A1 sheet no. B/7/21
 project code: TDC A-23054 revision: DA01

Refer to various design modification conditions

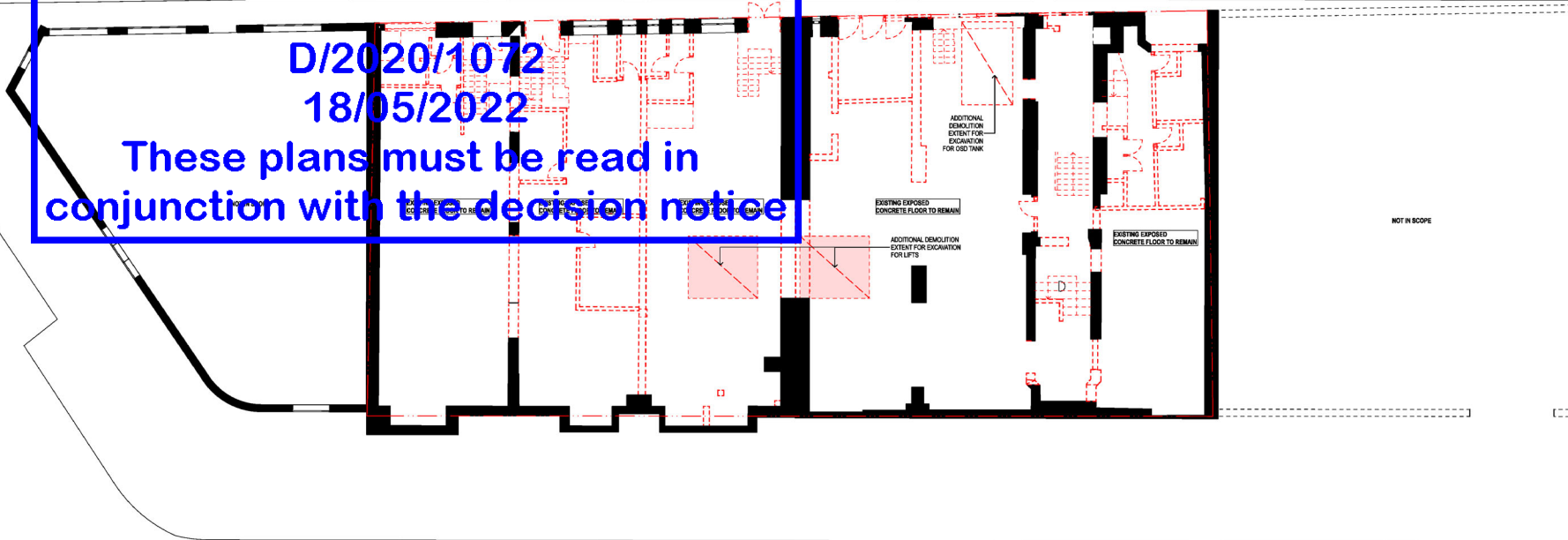
CITY OF SYDNEY
CITY PLANNING DIVISION

DEFERRED
Commencement Approval

D/2020/1072
18/05/2022

These plans must be read in
conjunction with the decision notice

189



GENERAL NOTES
ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE CHECKED AND VERIFIED BY THE CONTRACTOR BEFORE PROCEEDING WITH THE WORK.
ALL LEVELS RELATIVE TO AUSTRALIAN HEIGHT DATUM.
DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY.

Legend
EXISTING FABRIC
EXISTING FABRIC TO BE REMOVED
FLOOR OR ROOF TO BE REMOVED
RETAINING PARTITIONS REMOVED AND REINFORCED FOR OPPORTUNITY OF INSULATION WITH TEST

NOTES
1. EXTENT OF FLOOR STRUCTURE IS INDICATED, BASED ON PRELIMINARY INVESTIGATIVE WORKS. FULL EXTENT WILL NOT BE KNOWN UNTIL FURTHER STRIP-OUT/ INVESTIGATIONS ARE CARRIED OUT ON SITE.
2. ALL EXISTING CRITICAL SERVICES MAINTAINED ON THE EXISTING STREET FRONTAGE TO BE REMOVED.
3. ALL TIMBER PARTITIONS AND FLOORBOARDS TO BE OBSOLETE TO BE DEMOLISHED AND REINFORCED FOR POTENTIAL REUSE (TO BE CONFIRMED DURING DESIGN DEVELOPMENT PHASE).

rev	date	name	by
DA03	18/05/21	DA issue	ARY
DA02	26/07/20	DA RFI	RL
DA01	20/08/20	DA issue	RL

project: **Darlinghurst Collection**
110-122 Oxford Street
Darlinghurst NSW 2010
title: **Group 3 - Demolition Plan - Lower Ground**
scale: 1:200 @ A1
sheet no.: A-23101
revision: DA03

1 PLAN Lower Ground
1:100



Refer to various design modification conditions

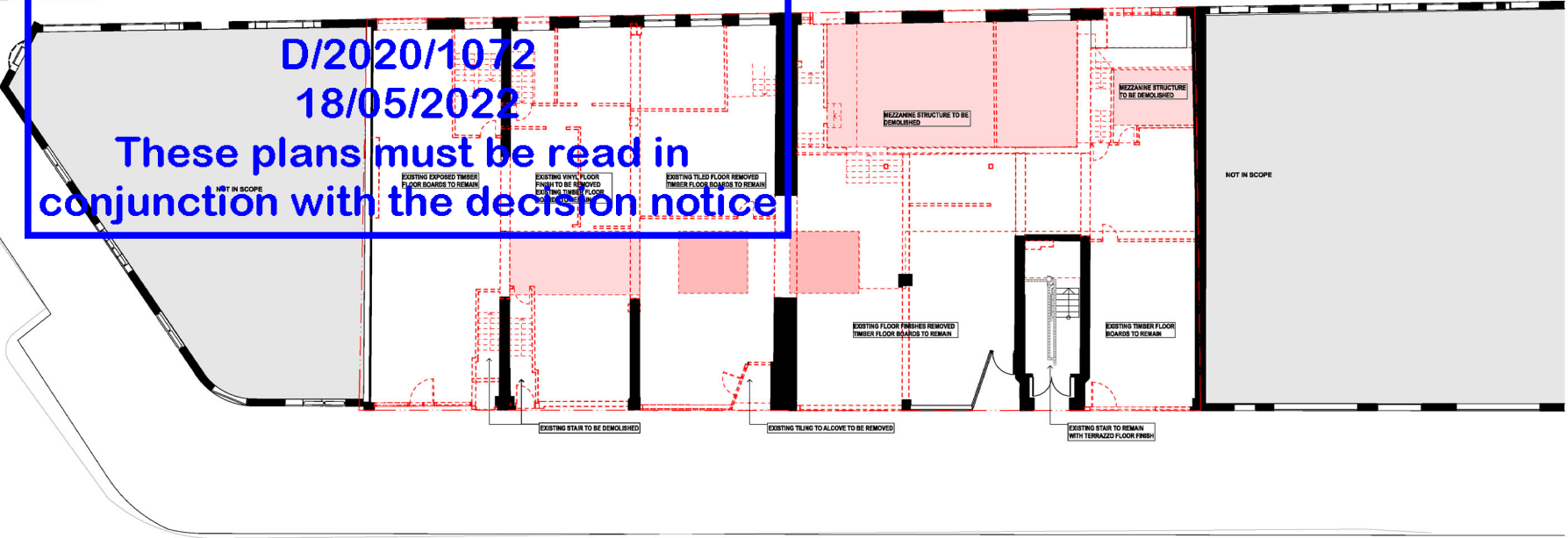
CITY OF SYDNEY
CITY PLANNING DIVISION

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Commencement Approval

D/2020/1072
18/05/2022

These plans must be read in
conjunction with the decision notice

190



GENERAL NOTES
 ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE CHECKED AND VERIFIED BY THE CONTRACTOR BEFORE PROCEEDING WITH THE WORK.
 ALL LEVELS RELATIVE TO AUSTRALIAN HEIGHT DATUM.
 DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY.

Legend

- EXISTING FABRIC
- EXISTING FABRIC TO BE REMOVED
- FLOOR OR ROOF TO BE REMOVED
- MEZZANINE PARTITIONS REMOVED AND REINFORCED FOR OPPORTUNITY OF INTEGRATION WITH FUTURE

NOTES

- EXTENT OF FLOOR STRUCTURE IS INDICATED, BASED ON PRELIMINARY INVESTIGATIVE WORKS. FULL EXTENT WILL NOT BE KNOWN UNTIL FURTHER STRIP-OUT/ INVESTIGATIONS ARE CARRIED OUT ON SITE.
- ALL EXISTING CRITICAL SERVICES SHOWN ON THE EXISTING FLOOR PLANS TO BE REMOVED.
- ALL TIMBER PARTITIONS AND FLOORBOARDS NOTED FOR DEMOLITION TO BE DEMOLISHED AND STORED FOR POTENTIAL REUSE (TO BE CONFIRMED DURING DESIGN DEVELOPMENT PHASE).

rev	date	name	by
DA03	18/05/22	DA issue	AWT
DA02	26/11/20	DA RFI	RL
DA01	20/08/20	DA issue	RL

Project: **Darlinghurst Collection**
 110-122 Oxford Street
 Darlinghurst NSW 2010

Project: **Darlinghurst Collection**
 110-122 Oxford Street
 Darlinghurst NSW 2010

Title: **Group 3 - Demolition Plan - Ground**

Scale: 1:200 @ A1 First issued: 28/11/20
 Project code: TDC Sheet no.: A-23102 Revision: DA03

1 PLAN Ground Floor
1:100



Refer to various design modification conditions

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18/05/2022

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Legend

- EXISTING FABRIC
- EXISTING FABRIC TO BE REMOVED
- FLOOR OR ROOF TO BE REMOVED

GENERAL NOTES

- ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE CHECKED AND VERIFIED BY THE CONTRACTOR BEFORE PROCEEDING WITH THE WORK.
- ALL LEVELS RELATIVE TO AUSTRALIAN HEIGHT DATUM.
- DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY.

- NOTES
- EXTENT OF FLOOR STRUCTURE IS INDICATED, BASED ON PRELIMINARY INVESTIGATIVE WORKS. FULL EXTENT WILL NOT BE KNOWN UNTIL FURTHER STRIP-OUT/ INVESTIGATIONS ARE CARRIED OUT ON SITE.
 - ALL EXISTING CRITICAL SERVICES SHOWN ON THE EXISTING FLOOR PLANS TO BE REMOVED.
 - ALL TIMBER PARTITIONS AND FLOORBOARDS NOTED FOR OBSERVATION TO BE RETAINED AND STORED FOR POTENTIAL REUSE (TO BE CONFIRMED DURING DESIGN DEVELOPMENT PHASE).

1 PLAN Level 1
1:100

rev	date	name	by
DA02	25/11/20	DA 001	SL
DA01	20/05/20	DA issue	SL

project

Darlinghurst Collection
110-122 Oxford Street
Darlinghurst NSW 2010

title

Group 3 - Demolition Plan
Group 3 - Demolition Plan - Level 1

scale 1:200 @ A1 first issued 28/11/20

project code	sheet no.	revision
TDC	A-23103	DA02



Refer to various design modification conditions

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18/05/2022**

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conjunction with the decision notice**

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GENERAL NOTES

- ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE CHECKED AND VERIFIED BY THE CONTRACTOR BEFORE PROCEEDING WITH THE WORK.
- ALL LEVELS RELATIVE TO AUSTRALIAN HEIGHT DATUM.
- DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY.

Legend

- EXISTING FABRIC
- EXISTING FABRIC TO BE REMOVED
- FLOOR OR ROOF TO BE REMOVED

- NOTES**
- EXTENT OF FLOOR STRUCTURE IS INDICATED, BASED ON PRELIMINARY INVESTIGATIVE WORKS. FULL EXTENT WILL NOT BE KNOWN UNTIL FURTHER STRIP-OUT/ INVESTIGATIONS ARE CARRIED OUT ON SITE.
 - ALL EXISTING CRITICAL SERVICES SHOWN ON THE EXISTING FLOOR PLAN TO BE REMOVED.
 - ALL TIMBER PARTITIONS AND FLOORBOARDS NOTED FOR OBSERVATION TO BE RETAINED AND STORED FOR POTENTIAL REUSE (TO BE CONFIRMED DURING DEVELOPMENT PHASE).

rev	date	name	by
DA02	25/11/20	DA 001	SL
DA01	20/05/20	DA Issue	SL

Project code: **A-23104**

Sheet no.: **DA02**

Scale: **1:200 @ A1**

First issued: **28/11/20**

Project: **Darlinghurst Collection**
110-122 Oxford Street
Darlinghurst NSW 2010

Title: **Group 3 - Demolition Plan**
Group 3 - Demolition Plan - Level 2

Scale: **1:200 @ A1**

Project code: **TDC**

Sheet no.: **A-23104**

Revision: **DA02**

1 PLAN Level 2
1:100



Refer to various design modification conditions

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18/05/2022


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EXISTING ROOF SHEETING
AND SUPPORT STRUCTURE
TO BE DEMOLISHED

EXISTING STEEL BRACING
TO BE DEMOLISHED

NOT IN SCOPE




193

 0 2 4 10m

GENERAL NOTES

- ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE CHECKED AND VERIFIED BY THE CONTRACTOR BEFORE PROCEEDING WITH THE WORK.
- ALL LEVELS RELATIVE TO AUSTRALIAN HEIGHT DATUM.
- DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY.

Legend

-  EXISTING FABRIC
-  EXISTING FABRIC TO BE REMOVED
-  FLOOR OR ROOF TO BE REMOVED

NOTES

- EXTENT OF FLOOR STRUCTURE IS INDICATIVE, BASED ON PRELIMINARY INVESTIGATIVE WORKS. FULL EXTENT WILL NOT BE KNOWN UNTIL FURTHER STRIP-OUT/ INVESTIGATIONS ARE CARRIED OUT ON SITE.
- ALL EXISTING CRITICAL SERVICES SHOWN ON THE EXISTING FLOOR PLAN TO BE REMOVED.
- ALL TIMBER PARTITIONS AND FLOORBOARDS NOTED FOR OBSERVATION TO BE DEMOLISHED AND STORED FOR POTENTIAL REUSE (TO BE CONFIRMED DURING DESIGN DEVELOPMENT PHASE).

1 PLAN Level 3
1:100

rev	date	name	by
DA02	28/11/20	DA 001	SL
DA01	20/05/20	DA issue	SL

frj studio and partners interior landscape urban community
 6/100 yarralumla rd
 Level 5, 70 King Street E +61 2 9251 7077 frjstudio.com



project
Darlinghurst Collection
 110-122 Oxford Street
 Darlinghurst NSW 2010

title
Group 3 - Demolition Plan - Roof
Group 3 - Demolition Plan - Roof

scale	1:200 @ A1	first issued	28/11/20
project code	A-23105	sheet no.	revision
TDC	A-23105		DA02

Refer to various design modification conditions

CITY OF SYDNEY
CITY PLANNING DIVISION

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Commencement Approval

D/2020/1072
18/05/2022

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conjunction with the decision notice

194

EXISTING EXPOSED JOISTS
TO REMAIN

EXISTING EXPOSED JOISTS
TO REMAIN

EXISTING EXPOSED JOISTS
TO REMAIN

EXISTING EXPOSED JOISTS
TO REMAIN

EXISTING EXPOSED JOISTS
TO REMAIN

NOT IN SCOPE

Legend

- EXISTING FABRIC
- EXISTING FABRIC TO BE REMOVED
- FLOOR OR ROOF TO BE REMOVED

LEGEND - CEILING TYPES

- EXISTING MOULDED PLASTER CEILING PATTERN IS INDICATIVE ONLY NOT REPRESENTATIVE OF ON SITE APPEARANCE
- EXISTING PROPOSED METAL CEILING PATTERN IS INDICATIVE ONLY NOT REPRESENTATIVE OF ON SITE APPEARANCE
- EXISTING NON-ORIGINAL CEILING

NOTES

- EXTENT OF EXISTING CEILING IS INDICATIVE, BASED ON VISIBLE MATERIAL SITE INSPECTION. STRUCTURE (PROPOSED AND CONCEALED) NOT SHOWN.
- QUALITY PERFORMANCE OF EXISTING CEILING IS SHOWN ON DEMOLITION PLANS TO BE FURTHER INVESTIGATED WITH REGARD TO DURABILITY ON SITE.

1 PLAN Lower Ground
1:100

DA01	26/11/20	DA01	BL
rev	date	name	by

frj architects and architects interior landscape urban community
gptw architecture
Level 5, 70 King Street E • 61 2 9251 7077 • frjau.com



project
Darlinghurst Collection
110-122 Oxford Street
Darlinghurst NSW 2010

title
Group 3 - Demolition RCP
Group 3 - Demolition RCP - Lower Ground

scale	1:200 @ A1	first issued	26/11/20
project code	sheet no.	revision	
TDC	A-23601	DA01	

Refer to various design modification conditions

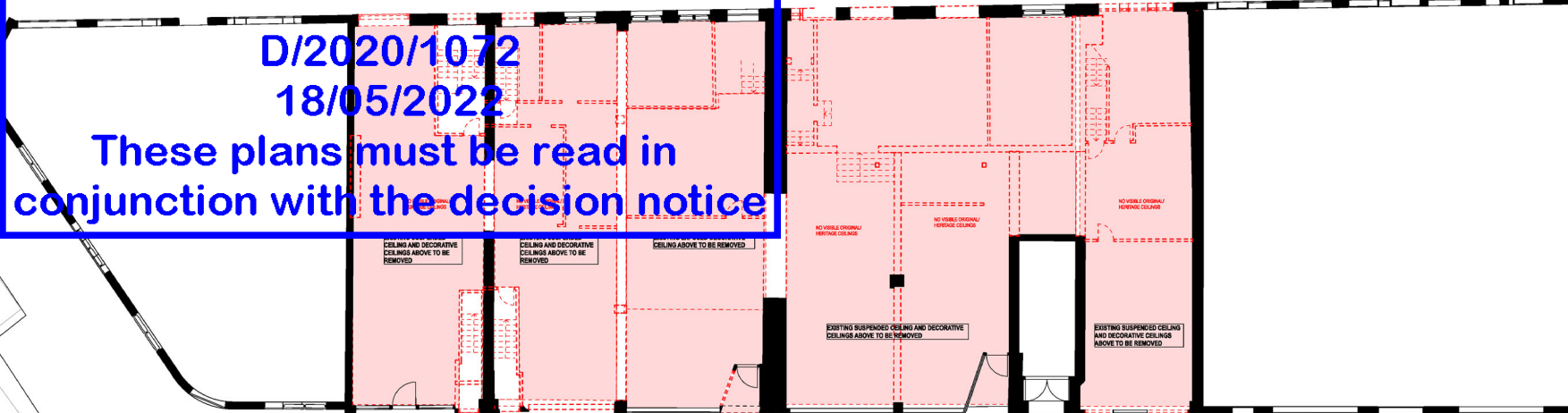
**CITY OF SYDNEY
CITY PLANNING DIVISION**

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Commencement Approval**

**D/2020/1072
18/05/2022**

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conjunction with the decision notice**

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GENERAL NOTES

- ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE CHECKED AND VERIFIED BY THE CONTRACTOR BEFORE PROCEEDING WITH THE WORK.
- ALL LEVELS RELATIVE TO AUSTRALIAN HEIGHT DATUM.
- DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY.

Legend

- EXISTING FABRIC
- EXISTING FABRIC TO BE REMOVED
- FLOOR OR ROOF TO BE REMOVED

LEGEND - CEILING TYPES

- EXISTING: NON-GRID PLASTER CEILING (PATTERN IS INDICATIVE ONLY, NOT REPRESENTATIVE OF ON-SITE APPEARANCE)
- EXISTING: METAL CEILING (PATTERN IS INDICATIVE ONLY, NOT REPRESENTATIVE OF ON-SITE APPEARANCE)
- EXISTING: NON-ORIGINAL CEILING

NOTES

- EXTENT OF EXISTING CEILING IS INDICATIVE, BASED ON VISIBLE MATERIAL SITE INSPECTION. STRUCTURE (POPPERS AND CONCEALS) NOT SHOWN.
- QUALITY PERFORMANCE OF EXISTING CEILING AS SHOWN ON DEMOLITION PLANS TO BE FURTHER INVESTIGATED WITH REGARD TO RELIABILITY ON-SITE.

1 PLAN Ground Floor 1:100

DA01	26/11/20	DA01	BL
rev	date	name	by

frj studio and partners interior landscape urban community
 6/way industrial park
 Level 5, 70 King Street E • 01 2 9251 7077 • frjstudio.com

fjmt

project
Darlinghurst Collection
 110-122 Oxford Street
 Darlinghurst NSW 2010

title
Group 3 - Demolition RCP
Group 3 - Demolition RCP - Ground

scale 1:200 @ A1 first issued 26/11/20
 project code sheet no. revision
TDC A-23602 DA01

Refer to various design modification conditions

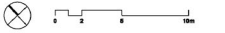
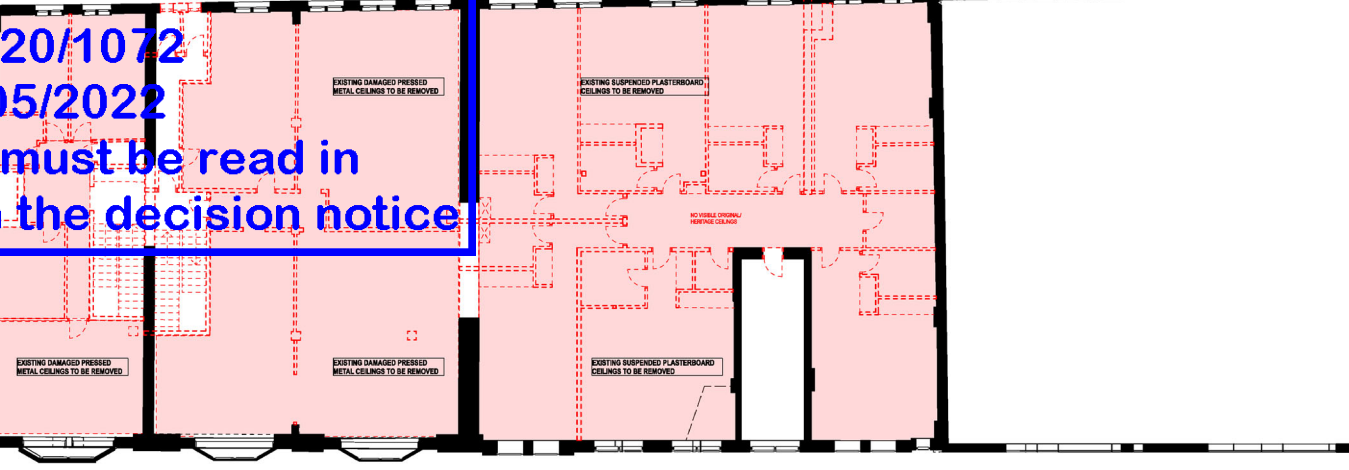
CITY OF SYDNEY
CITY PLANNING DIVISION

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Commencement Approval

D/2020/1072
18/05/2022

These plans must be read in
conjunction with the decision notice

196



GENERAL NOTES
ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE CHECKED AND VERIFIED BY THE CONTRACTOR BEFORE PROCEEDING WITH THE WORK.
ALL LEVELS RELATIVE TO AUSTRALIAN HEIGHT DATUM.
DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY.

- Legend**
- EXISTING FABRIC
 - EXISTING FABRIC TO BE REMOVED
 - FLOOR OR ROOF TO BE REMOVED
- LEGEND - CEILING TYPES**
- EXISTING HOLLOW PLASTER CEILING PATTERN IS INDICATIVE ONLY. NOT REPRESENTATIVE OF ON SITE APPEARANCE
 - EXISTING PRESSED METAL CEILING PATTERN IS INDICATIVE ONLY. NOT REPRESENTATIVE OF ON SITE APPEARANCE
 - EXISTING NON-ORIGINAL CEILING

NOTES
1. EXTENT OF EXISTING CEILING IS INDICATIVE. BASED ON VISIBLE MATERIAL SITE INSPECTION. STRUCTURE (POPPED AND CONCEALED) NOT SHOWN.
2. QUALITY PERFORMANCE OF EXISTING CEILING AS SHOWN ON DEMOLITION PLANS TO BE FURTHER INVESTIGATED WITH REGARD TO STABILITY ON SITE.

1 PLAN Level 1
1:100

DA01	26/11/20	DA01	BL
rev	date	name	by

frj studio and partners interior landscape urban community
gptw architecture
Level 5, 70 King Street | +61 2 9251 5077 | frjstudio.com



project
Darlinghurst Collection
110-122 Oxford Street
Darlinghurst NSW 2010

title
Group 3 - Demolition RCP
Group 3 - Demolition RCP - Level 1

scale	1:200 @ A1	first issued	26/11/20
project code	sheet no.	revision	
TDC	A-23603	DA01	

Refer to various design modification conditions

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CITY PLANNING DIVISION**

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**D/2020/1072
18/05/2022**

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conjunction with the decision notice**

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GENERAL NOTES

- ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE CHECKED AND VERIFIED BY THE CONTRACTOR BEFORE PROCEEDING WITH THE WORK.
- ALL LEVELS RELATIVE TO AUSTRALIAN HEIGHT DATUM.
- DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY.

Legend

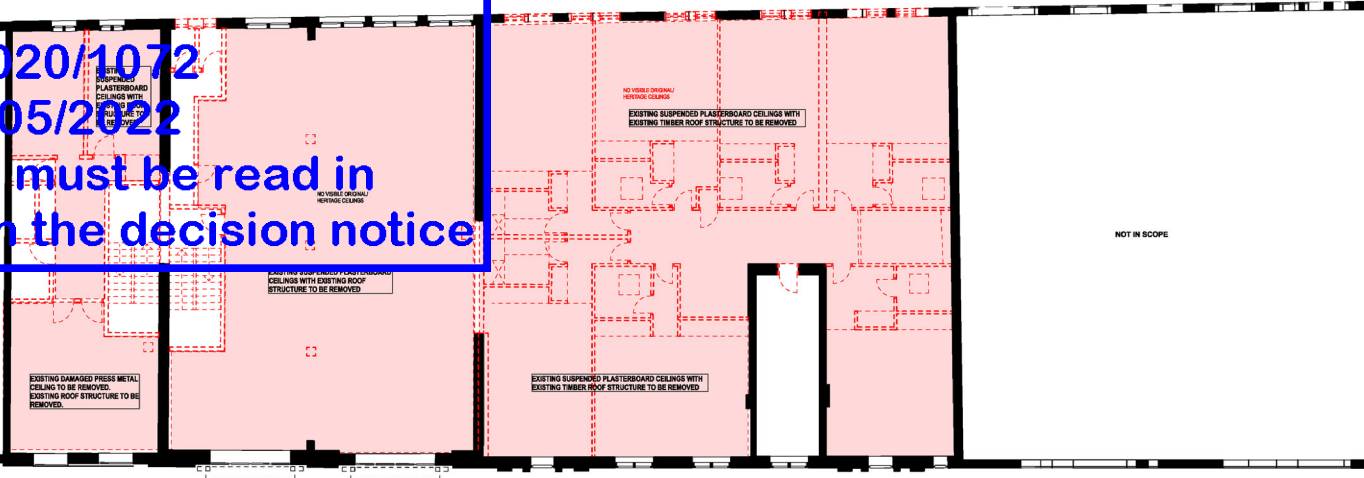
- EXISTING FABRIC
- EXISTING FABRIC TO BE REMOVED
- FLOOR OR ROOF TO BE REMOVED

LEGEND - CEILING TYPES

- EXISTING HOLLOW PLASTER CEILING PATTERN IS INDICATIVE ONLY. NOT REPRESENTATIVE OF ON-SITE APPEARANCE.
- EXISTING FROSTED METAL CEILING PATTERN IS INDICATIVE ONLY. NOT REPRESENTATIVE OF ON-SITE APPEARANCE.
- EXISTING NON-ORIGINAL CEILING

NOTES

- EXTENT OF EXISTING CEILING IS INDICATIVE, BASED ON VISIBLE MATERIAL SITE INSPECTION. STRUCTURE (POPPED AND CONCEALED) NOT SHOWN.
- QUALITY PERFORMANCE OF EXISTING CEILING IS SHOWN ON DEMOLITION PLANS TO BE FURTHER INVESTIGATED WITH REGARD TO DURABILITY ON-SITE.



1 PLAN Level 2
1:100

DATE	REV	DATE	DATE	BY

frj studio and partners interior landscape urban community
gptw architecture
Level 5, 70 King Street | +61 2 9251 5077 | frjstudio.com

project
Darlinghurst Collection
110-122 Oxford Street
Darlinghurst NSW 2010

title
Group 3 - Demolition RCP
Group 3 - Demolition RCP - Level 2

scale 1:200 @ A1 first issued 26/11/20
project code sheet no. revision
TDC A-23604 DA01



Refer to various design modification conditions

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Commencement Approval**

**D/2020/1072
18/05/2022**

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conjunction with the decision notice**

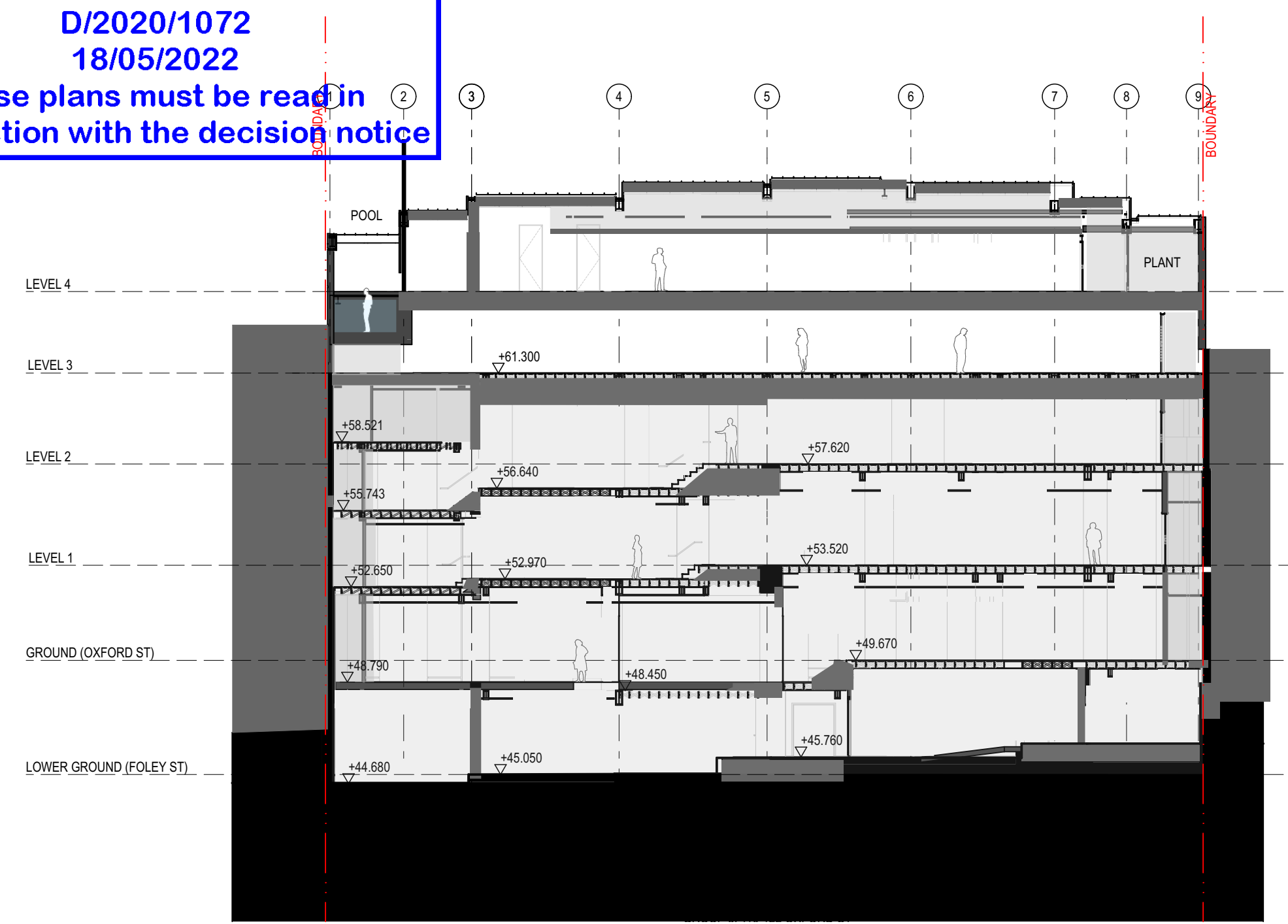
0 2 5 10m

GENERAL NOTES

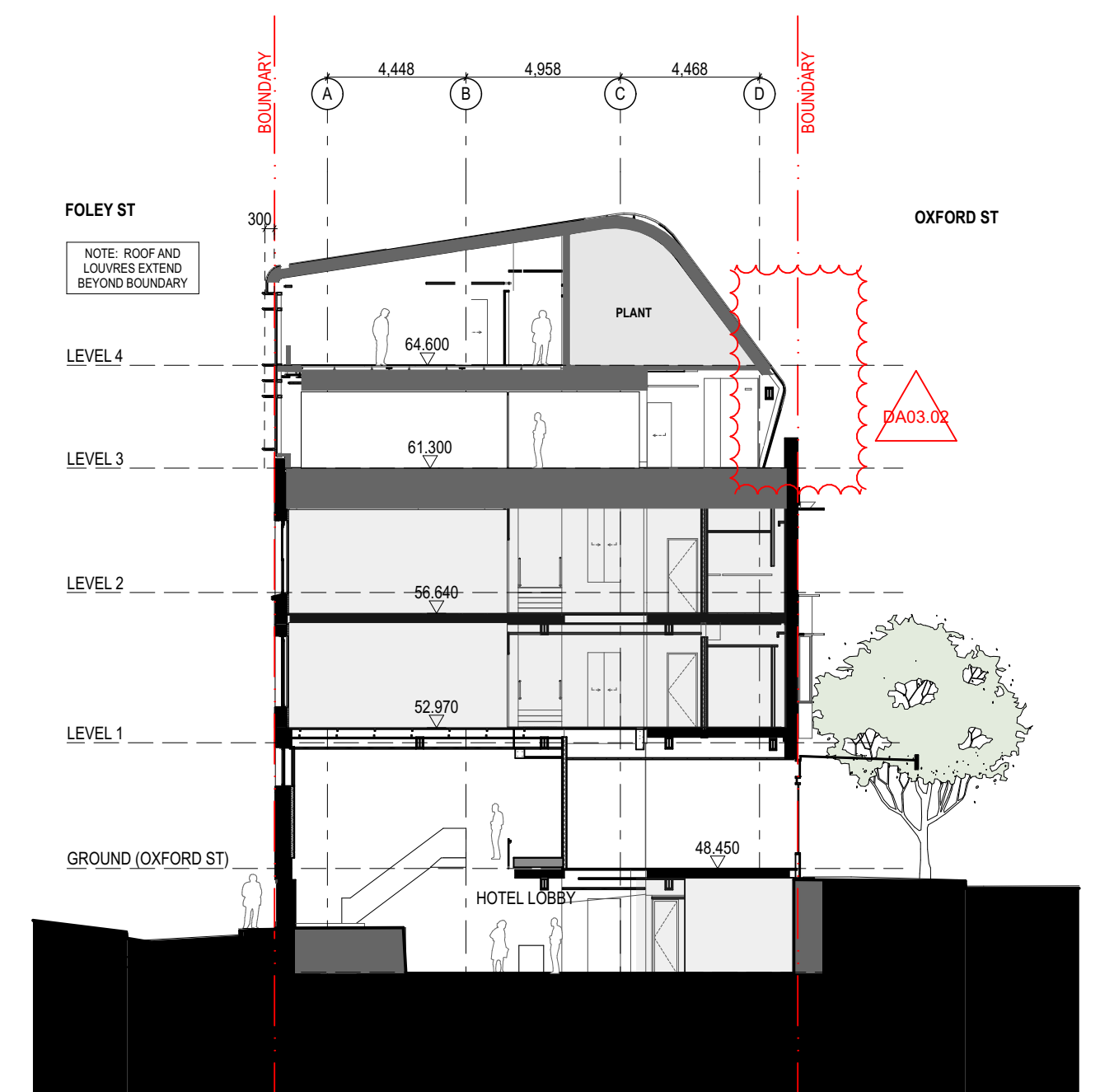
- ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE CHECKED AND VERIFIED BY THE CONTRACTOR BEFORE PROCEEDING WITH THE WORK.
- ALL LEVELS RELATIVE TO AUSTRALIAN HEIGHT DATUM.
- DO NOT SCALE DRAWINGS.
- USE FIGURED DIMENSIONS ONLY.

Legend

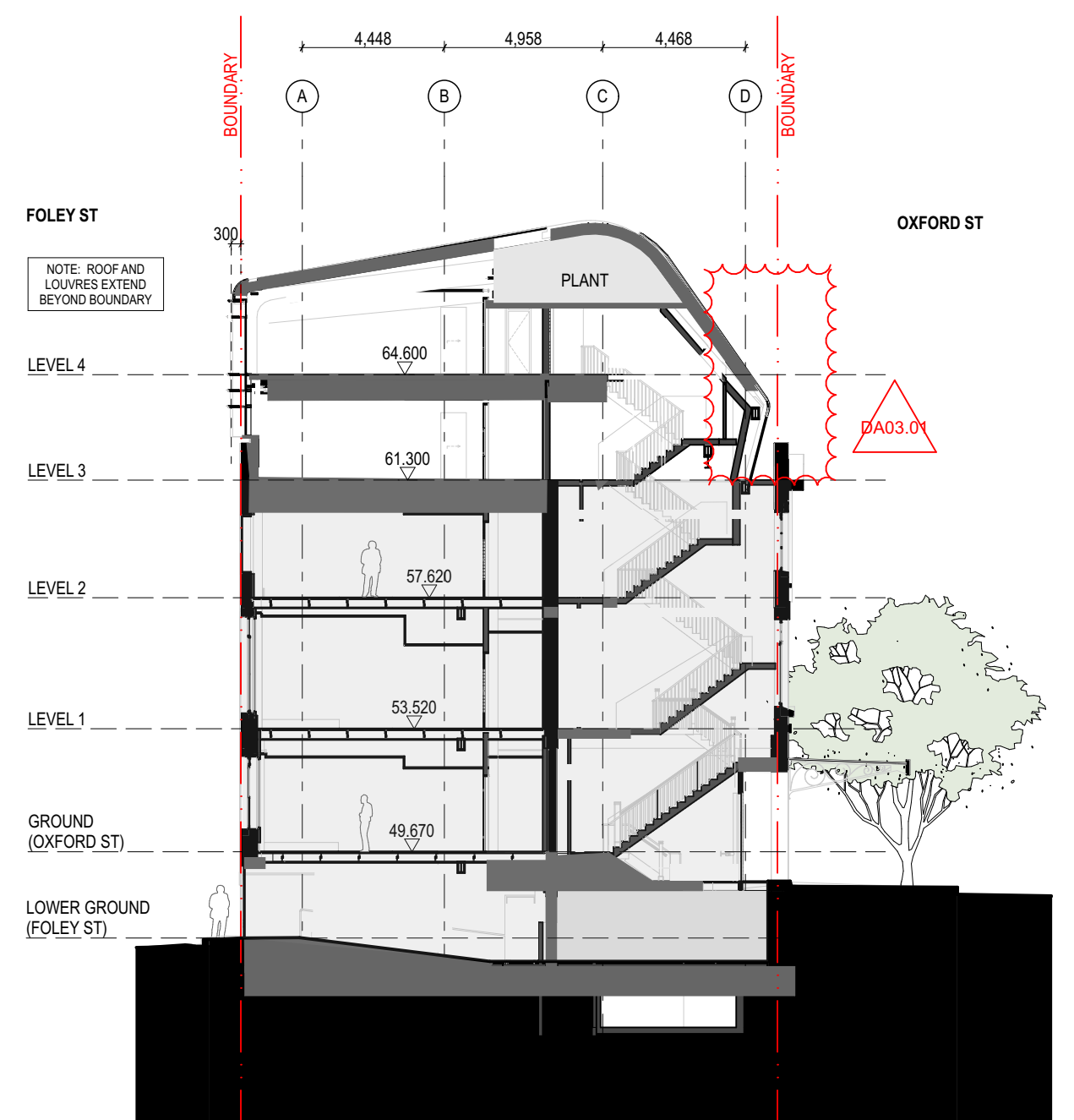
NOTE: STRUCTURAL GRID DIMENSIONS ARE INDICATIVE ONLY AND RELATED TO EXISTING STRUCTURAL ELEMENTS, AND THEREFORE SUBJECT TO CHANGE BASED ON SITE MEASURE.



1 SECTION Group 3: Long Section - North
1:200



2 SECTION Group 3: Short Section - East
1:200



3 SECTION Group 3: Short Section - East
1:200

rev	date	name	by
DA03.02	21/10/21	DA issue	
DA03.01		Reduced skylight, curved roof profile	SL
DA03.01		Reduced skylight, curved roof profile	

fjmt studio architecture interiors landscape urban community
sydney melbourne uk
Level 5, 70 King Street t +61 2 9251 7077 w fjmtstudio.com

project
Darlinghurst Collection
110-122 Oxford Street
Darlinghurst NSW 2010

title
Group 3
Group 3 - Sections

scale	1:200 @ A1	first issued	21/10/21
project code	sheet no.	revision	
TDC	A-43011	DA03	

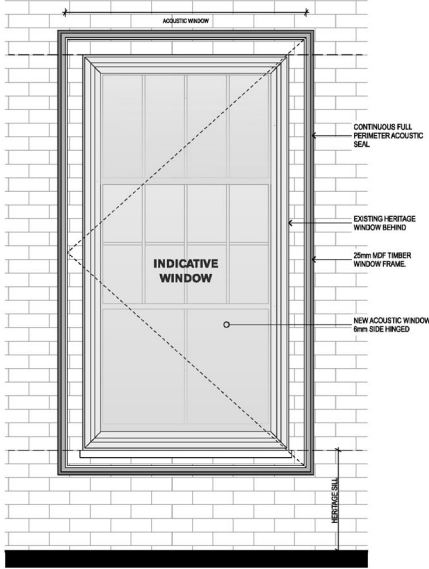


Refer to various design modification conditions

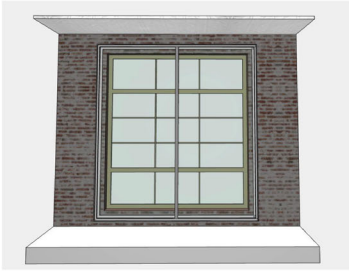
GENERAL NOTES
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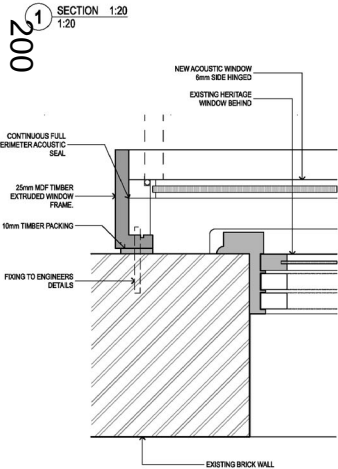
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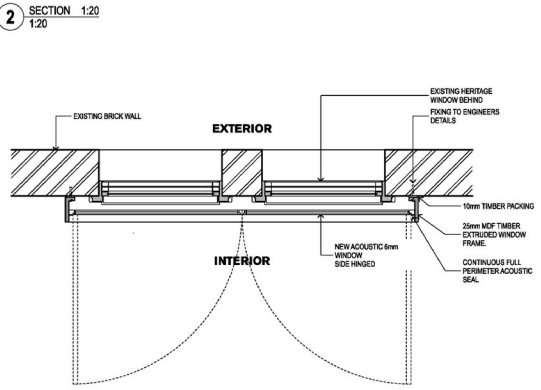
4 3D VIEW Typical Acoustic Window 3D



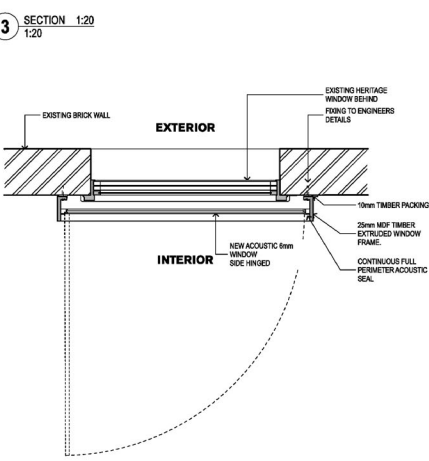
5 3D VIEW Typical Acoustic Window 3D



6 PLAN 1:5



7 PLAN 1:20



8 PLAN 1:20

DATE	REV	DATE	NAME	BY
26/11/20	01	DA	DA	DA